

Drawing key

- Structural Support - Refer To Engineers Design Details
- Trimming Arrangement - Refer to Engineers / Specialist Manufacturers design
- Proprietary Lintel installed in accordance with manufacturers guidance
- 150mm Knarf DriTerm 32 Cavity wall insulation
- Brick work to approved sample
- Fibrolite Ultra Lightweight Solid Concrete Blockwork
- Timber Stud Wall - 89 x 38mm vertical studs at 450mm centres fixed between 89 x 38mm header & sole plates. 89 x 38mm horizontal noggin's fixed at 900mm vertical centres.
- Joist Span Over
- Interlinked Mains Powered Smoke Detector
- Interlinked Mains Powered Heat Detector
- Mechanical vent extracting to external air.
- Roddable Gully - Surface / Foul
- SS - Stop Stack Filled With Air Admittance Valve, SVP - Soil & Vent Pipe, FMG - Floor Mounted Gully
- Inspection Chamber

Services

- Means Of Escape Window - No less than 0.33m², (450mm x 750mm min. opening width and height). The bottom of the opening is to be positioned not more than 1100mm above finished floor level
- Obscured Glazing - To a level of at least level 3 on the Pilkington glass scale.

Glazing / Windows

- Additional notes
- Drawings are to be read in conjunction with project specification & the Pre-construction health and safety design risk register.
- Prior to work commencing outstanding condition details to be submitted to and approved by local planning authority as set out in the planning approval V2025/00472. Contractor to ensure development complies with the conditions as approved.

- SAP Calculations / Overheating**
- As designed SAP calculations / overheating calculations are to be prepared prior to the commencement of works at work on site. Development to be carried out in accordance with the thermally bridging details etc. as required to achieve SAP pass rating.

- Structural supports**
- All structural steelwork, padstones & methodology to be designed by a suitably qualified structural engineer.
- All steels to be concealed within floor / ceiling void where possible.
- Pre-stressed concrete / steel beams above openings to loadbearing walls.

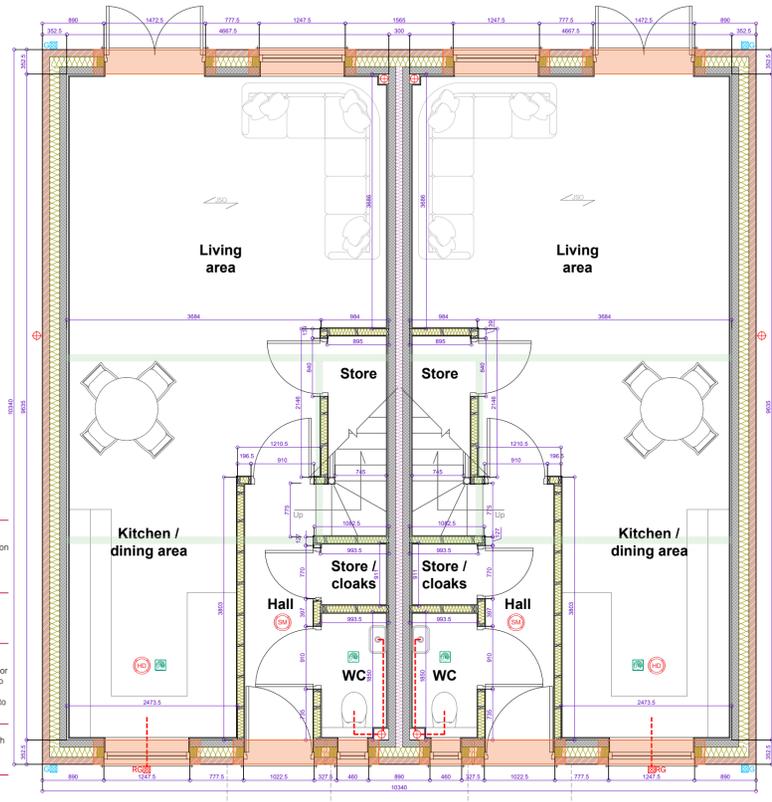
- Roof trusses**
- Roof truss / floor joist design shown is generic only, please refer to specialist manufacturers design for further information. Once manufacturers design data is available, eaves detail to be reviewed to ensure suitability - if in doubt ask.

- Expansion joints**
- Expansion joints to be provided to brick & block manufacturers guidance.

- Boiler**
- Boiler location to be agreed with heating engineer, exact boiler type to be agreed with energy assessor prior to the commencement of works.

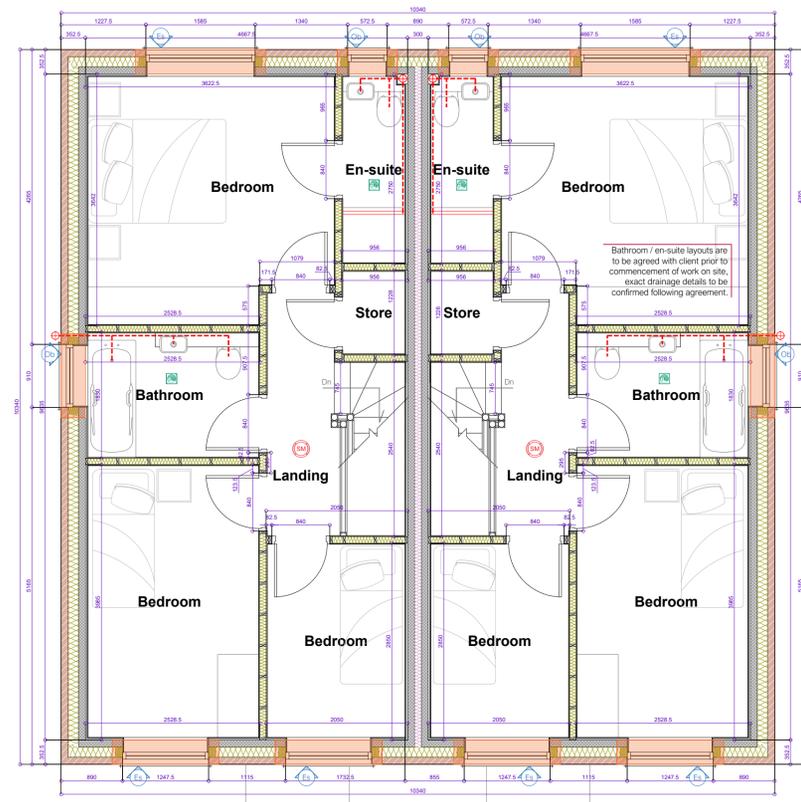
- Meter box's**
- Meter box location to be agreed with the relevant statutory undertaker.

- Internal layouts**
- Kitchen, utility, bathroom, en-suites etc. are indicative only, exact arrangement to be agreed on site prior to installation of drainage / ventilation points etc.



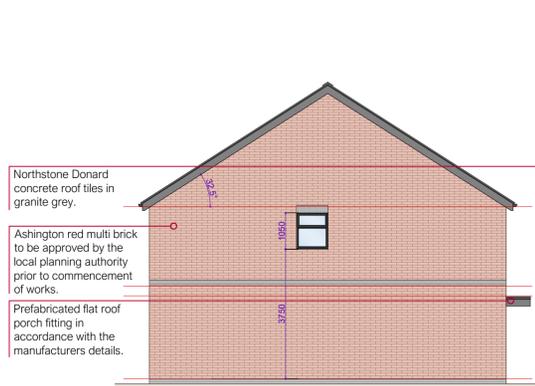
GROUND FLOOR LAYOUTS.

Scale = 1:50



FIRST FLOOR LAYOUTS.

Scale = 1:50



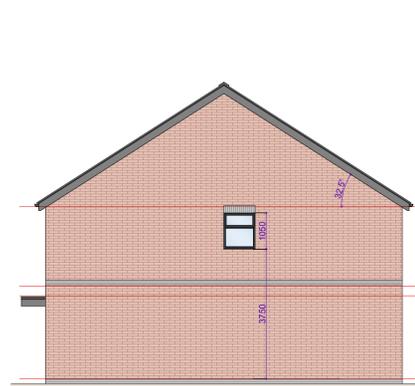
SIDE ELEVATION.

Scale = 1:100



FRONT ELEVATION.

Scale = 1:100



SIDE ELEVATION.

Scale = 1:100

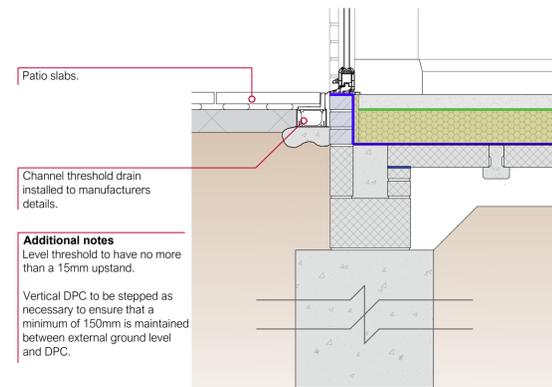


REAR ELEVATION.

Scale = 1:100

Level threshold detail

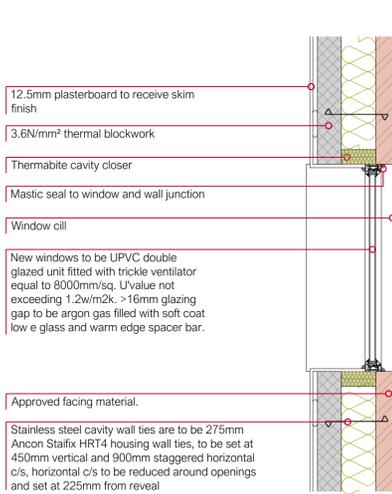
Scale: 1:15



- Additional notes**
- Level threshold to have no more than a 15mm upstand.
- Vertical DPC to be stepped as necessary to ensure that a minimum of 150mm is maintained between external ground level and DPC.

Window plan detail

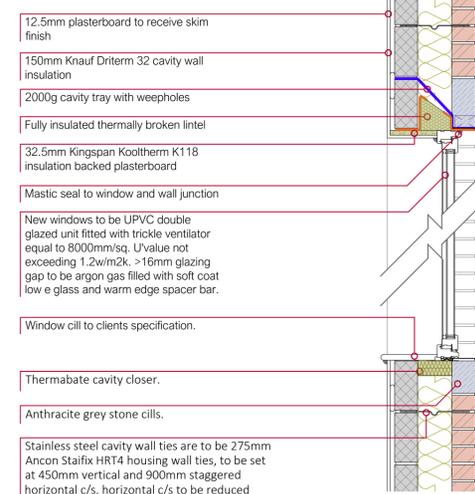
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- 12.5mm plasterboard to receive skim finish
- 3.6N/mm² thermal blockwork
- Thermabite cavity closer
- Mastic seal to window and wall junction
- Window cill
- New windows to be UPVC double glazed unit fitted with trickle ventilator equal to 8000mm²/sq. U-value not exceeding 1.2w/m²k. >16mm glazing gap to be argon gas filled with soft coat low e glass and warm edge spacer bar.
- Approved facing material.
- Stainless steel cavity wall ties are to be 275mm Ancon Staffix HRT4 housing wall ties, to be set at 450mm vertical and 900mm staggered horizontal c/s, horizontal c/s to be reduced around openings and set at 225mm from reveal

Window section detail

Scale: 1:15



- 12.5mm plasterboard to receive skim finish
- 150mm Knarf DriTerm 32 cavity wall insulation
- 2000g cavity tray with weepholes
- Fully insulated thermally broken lintel
- 32.5mm Kingspan Kooltherm K118 insulation backed plasterboard
- Mastic seal to window and wall junction
- New windows to be UPVC double glazed unit fitted with trickle ventilator equal to 8000mm²/sq. U-value not exceeding 1.2w/m²k. >16mm glazing gap to be argon gas filled with soft coat low e glass and warm edge spacer bar.
- Window cill to clients specification.
- Thermabite cavity closer.
- Anthracite grey stone cills.
- Stainless steel cavity wall ties are to be 275mm Ancon Staffix HRT4 housing wall ties, to be set at 450mm vertical and 900mm staggered horizontal c/s, horizontal c/s to be reduced around openings and set at 225mm from reveal.

GENERAL NOTES

- DRAWING IS PROVISIONAL - Unless clearly denoted elsewhere this drawing is provisional and subject to local authority approval. Building works shall not be commenced prior to issue of drawings marked APPROVED.
- DO NOT SCALE - All dimensions to be verified on site prior to work commencing.
- COPYRIGHT - This drawing remains the property of Studio VII LTD and shall not be altered, copied or reproduced without prior written consent.
- RELEVANT DRAWINGS - This drawing is to be read in conjunction with all other relevant project drawings, documents and project specification.
- PRINTING - Drawing to be printed in full colour.
- LOCAL AUTHORITY APPROVALS - Approvals granted by the local planning authority relate only to permission under the Town and Country Planning Act 1990 and the Building Regulations 2010. The client shall be responsible for ensuring that this drawing does not contravene any other legislation relating to the property, the property title deeds, restrictive covenants, land ownership, tenancy agreements, boundary encroachment and rights of way etc.
- SITE BOUNDARIES - The position of any site boundaries shown on this drawing are approximating. The client shall be responsible for confirming the legal position of all site boundaries and shall confirm legal ownership and responsibility for all boundary walls, fences and hedges etc. likely to be affected by the proposed works detailed on this drawing. The client shall be responsible for agreeing all boundary issues with the adjoining land owner prior to any building works being commenced. When setting out proposed work, client / contractor to ensure that above and below ground works are contained solely within applicants land ownership. Alternatively, written permission to be sought from adjoining land owner for any elements of construction extending beyond clients boundary position.
- MATERIALS - Where required as part of the planning approval, all external materials are to be submitted to, and approved in writing by the local authority planning section prior to work commencing on site. All materials specified are to be used in strict accordance with manufacturers guidance and codes of practice.
- ORDINANCE SURVEY DATA - Block, site and location plan are reproduced under license from the Ordnance Survey.
- SERVICES - Information given on this drawing regarding the position of any services are given for your assistance and guidance only. Where the works approach the position of services it will be necessary to use locating apparatus or hand excavated trial holes to locate them.
- DRAINAGE - Please note if any drainage below or within 3 meters of the proposal is found to be a public sewer, permission must be sought by way of a building over agreement from the statutory water authority prior to beginning work on site.
- MEASUREMENT & DIMENSIONS - All dimensions are in millimeters unless stated otherwise.
- PARTY WALL ACT - The client shall be responsible for discharging their duties under the Party Wall Etc. Act 1996 which requires that persons intending to carry out building work likely to affect an adjoining or nearby property or property boundary to give prior written notification to any neighbouring property owners affected.
- CDM REGULATIONS 2015 - Clients must be aware of their responsibilities under CDM, under CDM it is the clients responsibility to appoint the Principal Designer and Principal Contractor under separate appointment.
- MISCELLANEOUS - We will not consider land ownership or legal matters such as easements of light or air unless specifically requested to do so. The Client should ensure that there are no restrictive covenants or legal restrictions on any work at the relevant property. The Client should also ensure that there are no services e.g. gas, electric, public sewers passing under, over, through or close to the site requiring special permission to work around. Studio VII accepts no responsibility for any of the above.

Project.
Construction of a pair of semi-detached dwellings

Site address.
Land at 69 Portland Road
Selston
Nottingham
NG16 6AS

Client.
M D Bright

Drawing title.
Proposed layouts,
elevation & construction
details

Project number. 060

Date May 2025

Sheet.
060_202

Revisions.

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