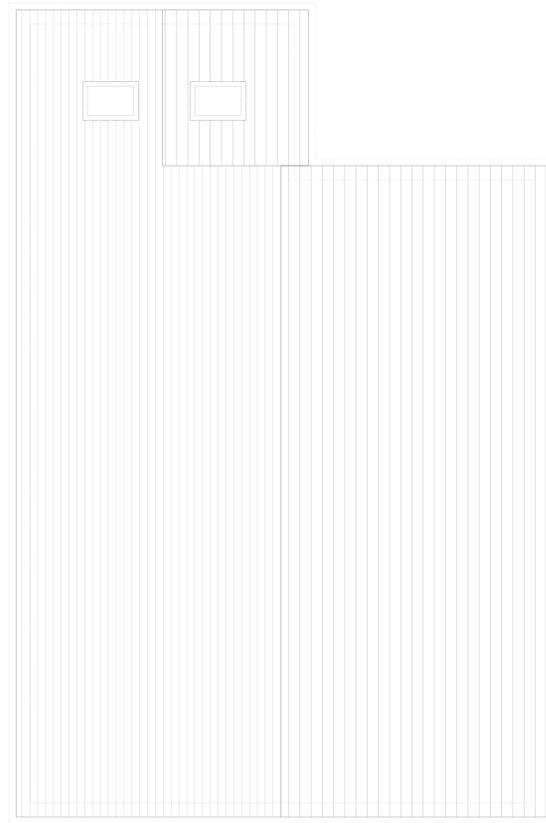


Total GIA = 60.4m²



GENERAL NOTES

- All dimensions to be checked on site prior to construction by contractor with any discrepancies reported to the architect.
- Do not scale from this drawing- dimensions and setting out to be verified on site.
- This drawing must be read in conjunction with structural engineer's details.
- Boundary positions are illustrated as interpretations of site conditions and do not constitute a legal definition. To satisfy their legal right to build the landowners are to verify boundary positions and agree locations with neighbours prior to commencement of work on site.
- The Party Wall Act 1996 is to be observed with notice given to relevant neighbouring landowners prior to works commencing on site.
- CDM regulations 2015 to be observed at all times.
- This drawing is the property of Replan Architects and should not be reproduced, retained or disclosed to any unauthorised person without written consent of Replan Architects.

PROJECT NOTES

Proposal summary

- 60sqm annex ancillary to the enjoyment of the dwelling house, providing home office spaces and a home gym/fitness studio
- Materials as below

Proposed materials

- Wienerberger Smeed Dean Greenwch Yellow Multi Rustica brick
- Antracite UPVC windows/bi-folds
- Black UPVC/iron rain water/SVPs
- Slate grey traditional concrete rosemary tiles

01 Proposed ground floor plan
1:50@A1

02 Proposed roof plan
1:50@A1

07 Proposed block plan
1:250@A1

Application site

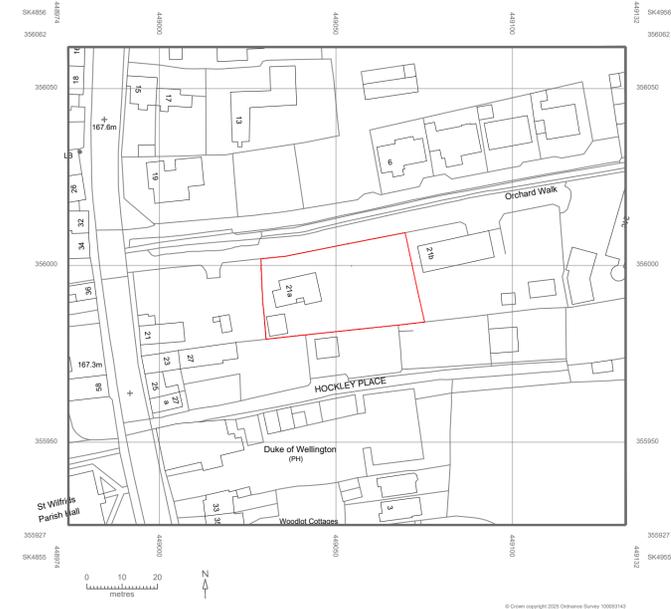
Rev	Date	By	Chkd	Description
P1	16/08/25	JB	JB	Preliminary issue



03 Proposed side elevation
1:50@A1



04 Proposed front elevation
1:50@A1



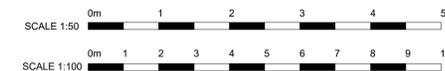
08 Existing site location plan
1:1000@A1



05 Proposed side elevation
1:50@A1



06 Proposed rear elevation
1:50@A1



Project Title
Proposed annex incidental to the enjoyment of the dwelling house to: 21a Church St. Kirkby (NG17 8LE)

Drawing Title
Proposed Plans

Client
GraceMachin Planning & Property

Job No.	Date	Status	Scale
25020	16.08.25	Planning	As stated @ A1

Drawing Number	Rev
08-100	P01