

Member Interest:

Delegated Report

Application Number: V/2025/0540

Address: Former Hucknall Town Football Club, Watnall Road, Hucknall, Nottinghamshire, NG15 7LP

Description of Works: Non Material Amendment Following Planning Permission V/2022/0869 - Reconfiguration of the Electric Charging Spaces Resulting in an Additional Space; Reconfiguration of Trolley Bay; Flip Flap Door Changed to Rapid Rise Door; Rainwater Pipe Locations Updated; 8 Parking Spaces Changed to Permeable Bays; Additional Bollards Added to Front of Trolley Bay; New Pedestrian Sloped Access and New Rear Retaining Wall

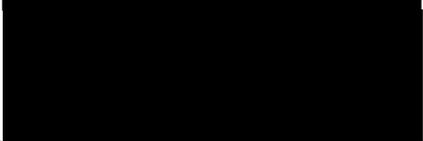
The Application	Non Material Amendment Following Planning Permission V/2022/0869 - Reconfiguration of the Electric Charging Spaces Resulting in an Additional Space; Reconfiguration of Trolley Bay; Flip Flap Door Changed to Rapid Rise Door; Rainwater Pipe Locations Updated; 8 Parking Spaces Changed to Permeable Bays; Additional Bollards Added to Front of Trolley Bay; New Pedestrian Sloped Access and New Rear Retaining Wall
Policy Considerations	<p>Ashfield Local Plan Review (ALPR) (2002)</p> <p>ST1 – Development</p> <p>ST2 – Main Urban Area</p> <p>RC3 – Formal Open Space</p> <p>EM1 – Employment Land</p> <p>EM4 – Protection of Employment Land Allocations</p> <p>EM5 – Protection of Existing Employment Sites and Buildings</p> <p>EV8 – Trees and Woodlands</p> <p>SH5 – Minor Shopping Centres and Single Shops</p> <p>SH8 – Commercial/Retail Development</p> <p>TR2 – Cycling Provisions in New Development</p> <p>TR3 – Pedestrians and People with Limited Mobility</p> <p>TR6 – Developer Contributions to Transport Improvements</p> <p>National Planning Policy Framework (NPPF) (2024)</p> <p>Part 2 – Achieving sustainable development</p> <p>Part 7 – Ensuring the vitality of town centres</p> <p>Part 8 – Promoting healthy and safe communities</p> <p>Part 9 – Promoting sustainable transport</p>

	<p>Part 11 – Making effective use of land</p> <p>Part 12 – Achieving well designed and beautiful places</p> <p>Part 14 – Meeting the challenge of climate change, flooding and coastal change</p> <p>Part 15 – Conserving and enhancing the natural environment</p> <p>Guidance</p> <p>Nottinghamshire Highway Design Guide</p>
<p>Relevant Planning History</p>	<p>V/1998/0636 – Outline planning application for residential development and restaurant/pub/diner – refused</p> <p>V/2006/0517 – Full application for residential development and relocation of Hucknall Town Football Club- Refused</p> <p>V/2009/0452 – Outline application for mixed use development comprising 108 dwellings with (B1) business units – Conditional</p> <p>V/2016/0619 – Outline application with some matters reserved for mixed use development comprising of residential development and business use (B1) – Conditional</p> <p>V/2020/0121 – Application for a non-material amendment to planning permission V/2016/0619 – alteration to access – Approved</p> <p>V/2020/0306 – Demolition of existing building and creation of food store (A1), access, landscaping and associated infrastructure – Conditional</p> <p>V/2022/0705 – Application for approval of details reserved by condition 3 of planning permission V/2020/0306 – construction environmental management plan – Conditional discharge approved</p> <p>V/2022/0706 – Application for approval of details reserved by condition 5 of planning permission V/2020/0306 – remediation scheme – Conditional discharge refused</p> <p>V/2022/0707 – Application for approval of details reserved by condition 13 of planning permission V/2020/0306 – waste audit – Conditional discharge approved</p> <p>V/2022/0869 – Application to vary condition 2 – approved plans, 3 – construction environmental management plan, 11 – electric vehicle charging and pv roof, 13 – waste audit and 14 – retail floorspace restrictions of planning permission V/2020/0306 – Conditional</p> <p>V/2024/0503 – Non material amendment following planning permission V/2022/0869 minor increase in the gross internal area floorspace of 13sqm, option to use brick slip system to store rather than traditional masonry, replacement of bark mulch with slate chippings – Conditional</p> <p>V/2025/0237 – Application to display advertisement signage – main</p>

	<p>building signage, large and small mounted billboards, wall mounted trolley signage and freestanding poster display signage – Conditional</p> <p>V/2025/0541 – Application to re-discharge conditions 4 – drainage and 6 – boundary treatment and lighting of planning permission: V/2022/0869 (as amended by NMA ref:V/2024/0503) - PENDING</p>
Summary of comments received	-
Comments on above	-
Summary	<p>Government guidance on non-material amendments (NMA) does not define what changes may be treated as being non-material, but section 96A of the Town and Country Planning Act 1990 outlines that in deciding whether a change is material a Local Planning Authority must have regard to the effect of the change in the original permission.</p> <p>NMA applications are considered on a case-by-case basis and require the consideration of the significance and importance of the proposed changes and whether the alterations require consultations and/or new conditions.</p> <p>This is a non-material amendment to application V/2022/0869 as amended by NMA V/2024/0503, seeking consent for the following amendments:</p> <ul style="list-style-type: none"> • Minor reconfiguration of the electric car charging spaces resulting in an additional regular parking space (110 in total); • Trolley bay configuration changed slightly; • Flip flap door change to rapid rise door; • Rainwater pipe locations have been updated; • 8 parking spaces changed to permeable bays; • Additional bollards added to front of trolley bay; • New pedestrian sloped access; and • New rear retaining wall. <p>The amendments include the erection of a retaining wall along the rear of the site which varies in height from 1.08m and 0.6m. In addition to this a sloped pedestrian access is proposed from the pavement to the shop with a max gradient of 1:21. These changes are considered unlikely to have any detrimental impacts on visual amenity, residential amenity or highway safety.</p> <p>The other amendments proposed are considered minor and unlikely to materially alter the scheme or have a detrimental impact on visual amenity, residential amenity or highway safety.</p> <p>As such the proposed amendments are considered minor and unlikely to materially alter the proposal, as such conditional consent is recommended.</p>

	In granting conditional consent the original conditions will be amended to reflect the plans submitted under this amendment. It should be noted that the plans also contain the amendments granted consent under NMA V/2024/0503.		
Recommendation	NMACC		
Conditions Reason	&	Condition Code	Text
		1.	<p>Condition 2 of planning permission V/2022/0869 is hereby amended to read as follows:</p> <p>This permission shall be read in accordance with the following plans:</p> <p>Site Location Plan A-PL-101</p> <p>Existing Site Plan A-PL-102</p> <p>Proposed Site Plan AD_120, received 23/09/2025</p> <p>Proposed Ground Floor Plan GA AD_111, received 23/09/2025</p> <p>Proposed Roof Plan, AD_112, received 23/09/2025</p> <p>Proposed Store Elevations AD_113 received 23/09/2025</p> <p>Proposed Site/Building Sections A-PL-107 Rev H, received 02/12/2024</p> <p>External Works Detail Heet 1 A-PL-108 Rev B, received 18/10/2024</p> <p>External Works Detail Sheet 2 A-PL-109 Rev D, received 18/10/2024</p> <p>Proposed Site Finishes Plan AD_122, received 23/09/2025</p> <p>Landscape Master Plan 1085 LWR 01 Rev M, received 23/09/2025</p> <p>Proposed Site- Pedestrian Sloped Access AD_124, received 23/09/2025</p> <p>Proposed Site – Rear Retaining Wall AD_125, received 23/09/2025</p> <p>The development shall thereafter be undertaken in accordance with these</p>
			Monitor

		<p>plans unless otherwise agreed in writing by the Local Planning Authority.</p> <p>Condition 11 of planning permission V/2022/0869 is hereby amended to read as follows:</p> <p>Prior to the occupation of the unit, the electric vehicle charging spaces and PV roof shall be installed in accordance with the details shown on the following plans:</p> <p>Proposed Site Plan AD_120, received 23/09/2025</p> <p>Proposed Roof Plan AD_112, received 23/09/2025</p>	
	Reason Code	Text	Monitor
	1.	<ol style="list-style-type: none"> 1. To ensure that the development takes the form envisaged by the Local Planning Authority when determining the application. 2. To reduce the carbon footprint of the development. 	
Informative	Informative	<p>Informative Text</p> <ol style="list-style-type: none"> 1. The applicant/developer is strongly advised to ensure compliance with all planning conditions, if any, attached to the decision. Failure to do so could result in LEGAL action being taken by the Ashfield District Council at an appropriate time, to ensure full compliance. If you require any guidance or clarification with regard to the terms of any planning conditions then do not hesitate to contact the Development & Building Control Section of the Authority on Mansfield (01623 450000). 2. This is a decision accepting a non-material amendment planning application V/2022/0869 and does not form a new planning permission. This decision does not replace the previous planning permission or the conditions attached which are still required to be adhered to. 3. This application only approves those details as identified throughout this application. 	

Proactive Working	The application as submitted is acceptable. In granting planning permission the District Planning Authority is implicitly working positively and proactively with the applicant.	
	Signed	Dated
Case Officer		23/10/2025
Development Team Manager		23/10/2025
Determined by Service Director Or on their behalf		23/10/2025